



# Inspection Report

## Inspection Report For Happy Home Owner

**Property Address:**  
123 N. 456 W.  
Pleasant Ville Utah 84000



**Vinson Inspection Services, Inc.**

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West Jordan, Utah 84088  
801-897-7485**

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<b>Date:</b> 8/1/2020	<b>Time:</b> 09:00 AM	<b>Report ID:</b> Sample Report
<b>Property:</b> 123 N. 456 W. Pleasant Ville Utah 84000	<b>Customer:</b> Inspection Report For Happy Home Owner	<b>Real Estate Professional:</b> Mike Agent Happy Place Real Estate

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Major Concern:** Denotes an improvement recommendation that is uncommon for a building of this age or location and /or that needs immediate repair or replacement.

**Safety Issue:** Denotes an observation or recommendation that is considered an immediate safety concern.

**Improve:** Denotes a typical improvement recommendation that is common for a building of this age and location that should be anticipated or budgeted for over the short term. Recommendations for the proper operation and routine maintenance of the home.

**Monitor:** Denotes an area where further investigation by a specialized licensed contractor and/or monitoring is needed. Repairs may be necessary or desired. During the inspection, there was insufficient information or the observation was beyond the scope of the inspection. Improvements cannot be determined until further investigation or observations are made.

**FYI: For Your Information:** Denotes additional general information and/or explanation of conditions; Safety information, Cosmetic issues, and useful tips or suggestions for home ownership.

**The Scope Of The Inspection**

Vinson Inspection Services, Inc. is pleased to submit this report. This report is a professional opinion based on a visual inspection of the accessible components of the building. This report is not an exhaustive technical evaluation. An evaluation of this nature would cost many times more. Please understand that there are limitations to this inspection. Many components of the building are not visible during the inspection and very little historical information is provided in advance of the inspection. While we can reduce your risk of purchasing a building, we cannot eliminate it, nor can we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommend that you budget for unexpected repairs. On average, we have found that setting aside roughly one percent of the value of the building on an annual basis is sufficient to cover unexpected repairs. The Standards of Practice and Code of Ethics of the InterNACHI prohibit us from making any repairs or referring any contractors. We are not associated with any other party to the transaction of this property, except as may be disclosed to you. The information provided in this report by Vinson Inspection Services, Inc. is solely for your use. Vinson Inspection Services, Inc. will not release a copy of this report without your consent. Thank you for selecting Vinson Inspection Services, Inc. We appreciate the opportunity to be of service. Should you have any questions about the general condition of the building in the future, please call us. There is no fee for this telephone consultation. Our fees are based on a single visit to the property. If additional visits are required for any reason, additional fees may be assessed. If any contractors are hired for repairs of any sort, a re-inspection of the work completed by an independent company, such as ours, is highly recommended. All components designated for inspection in the InterNACHI Inspector Standards are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. This inspection is visual only. A representative sample of building components is viewed in areas that are accessible at the time of the inspection only. No destructive testing or dismantling of building components is performed. It is the goal of the inspection to put a homebuyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection. It is strongly recommended that a Homeowner's Warranty or service contract be purchased to cover the operation of Appliances, the Electrical System, the Air Conditioning

## Vinson Inspection Services, Inc.

System (s), Heating System(s), and the Plumbing System. Verification of compliance with current or past Building Code and/or Zoning Regulations or requirements is outside the scope of this inspection.

You should be aware of obvious areas that need prep and paint, or replacement of coverings as these items may or may not be addressed. These items represent the overall condition of building. The inspection of main components is the purpose of this inspection. Components such as structure, roof, plumbing, heating and electrical are main components. Utilities must be on for inspection of these areas. If the inspection report states that a utility is off (no water, no fuel, or no electrical) than any item relating to these components cannot be inspected. There is a fee for a return trip to re-inspect.

**In Attendance:**

Seller only

**Type of building:**

Single Family

**Approximate age of building:**

Over 40 Years

**Temperature:**

Below 35 (F)

**Weather:**

Cloudy

**Ground/Soil surface condition:**

Frozen

**Rain or snow in last 3 days:**

Yes

**Radon Test:**

No



# 1. Roofing

**The inspector shall inspect from ground level or eaves:** The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

**The inspector is not required to:** Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.

## Styles & Materials

**Roof Covering:**

Architectural

**Viewed roof covering from:**

Walked on roof

**Gutters and Downspouts:**

Galvanized Steel

Downspouts discharge above grade

## Items

### 1.0 Roof Coverings

Comments: Inspected

**Major Concern:** The asphalt composition shingles covering the roof of this home had severe deterioration visible throughout the roof and are at the end of their long-term service life. You should consult with a qualified roofing contractor before the expiration of your Inspection Due Diligence Deadline to discuss options and costs for replacement.



1.0 Item 1(Picture)



1.0 Item 2(Picture)

**FYI:** The roof had two existing layers of composition asphalt shingles installed at the time of the inspection. Two is the maximum allowed. This condition will result in the following:

- Reduced asphalt shingle lifespan compared to similar shingles installed over a proper substrate.
- When new roofing is required, all two layers will need to be removed before new roofing material can be installed. This is much more expensive than simply adding another layer and you may wish to take this into account in your consideration of this property.



1.0 Item 3(Picture)

### 1.1 Flashings

**Comments:** Inspected

**Major Concern:** The flashing around chimney was installed incorrectly and is reliant upon a sealant to help prevent moisture intrusion. Evidence of leakage into the garage was noted at the time of the inspection. The inspector recommends replacement of the flashing by a qualified roofing contractor.



1.1 Item 1(Picture)



1.1 Item 2(Picture)

**Improve:** The flashing around all roof penetrations has been installed incorrectly and should be replaced. New vent flashing should be installed to help prevent moisture from entering into the roof system. The inspector recommends correction by a qualified roofing contractor.



1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)

**1.2 Gutters & Downspouts**

Comments: Inspected

**Improve:** It is recommended that the downspout(s) discharge water at least five (5) feet from the house. Installing downspout extensions should direct the flow of storm water away from the foundation. It is recommended that downspout extensions be installed at all downspouts to enhance surface water control and reduce water at the foundation.

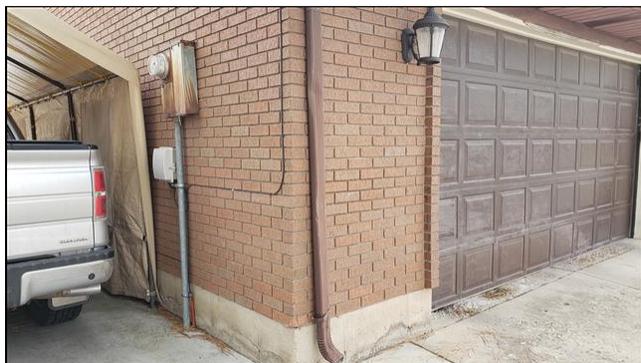
**Improve:** One or more downspouts on the exterior of the home are damaged and should be repaired or replaced to prevent possible failure and to allow for proper drainage away from the foundation.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)



1.2 Item 4(Picture)

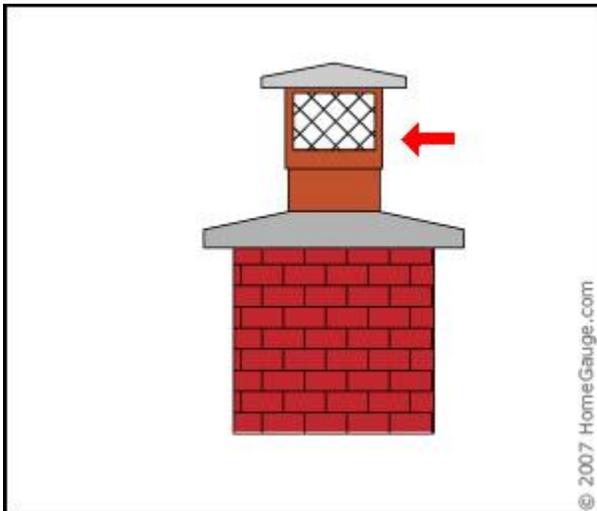
**Improve:** The gutters show signs of leakage and should be sealed with an appropriate material and be brought into good working order to protect the home foundation from excessive moisture.

**Improve:** Damage to the gutter(s) at the front of the home was noted and should be replaced to prevent possible failure of drainage system.

### 1.3 Chimneys/Flue

**Comments:** Inspected

**Improve:** A rain cap and vermin screen should be installed on the masonry chimney.



1.3 Item 1(Picture)



1.3 Item 2(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Exterior



**The inspector shall inspect:** The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

**The inspector is not required to:** Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

### Styles & Materials

**Wall Cladding:**

Brick veneer

**Exterior Entry Doors:**

Steel

Fiberglass

**Driveway:**

Concrete

**Walkway:**

Concrete

**Appurtenance:**

Covered Patio

**LIMITATIONS:**

- The inspection does not include an assessment of geological conditions and/or site stability.
- The detached building(s) were not inspected.

### Items

#### 2.0 Exterior Walls

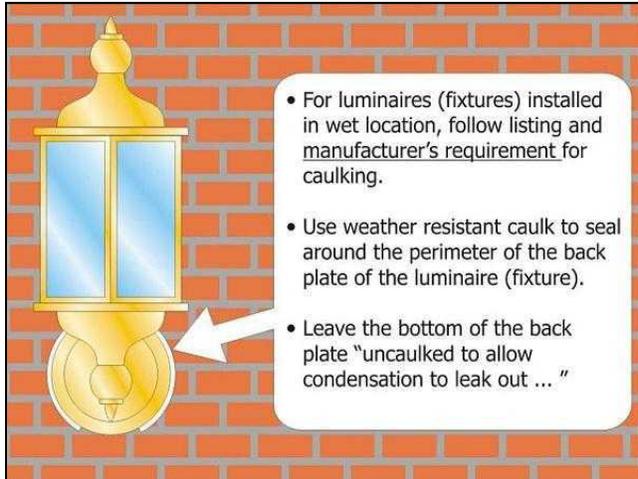
Comments: Inspected

**Improve:** The lentils are rusting. Lentils are metal beams that support the brickwork above openings in a wall (window/doors). The inspector recommends sanding and apply a rust preventative paint to help preserve the remaining life.



2.0 Item 1(Picture)

**Improve:** The areas around exterior light fixtures have not been sealed. Recommend caulking around fixtures with appropriate sealant to help prevent moisture intrusion in the wall assembly.



2.0 Item 2(Picture)



2.0 Item 3(Picture)

## 2.1 Exterior Eaves, Soffits and Fascias

Comments: Inspected

**Monitor:** Water staining to soffit vents was observed. This is a sign of a possible roof leak and should be monitored.



2.1 Item 1(Picture)

## 2.2 Doors (Exterior)

Comments: Inspected

**Improve:** The weatherstripping around the perimeter of the back door does not provide an adequate seal, and may reduce the energy efficiency of the home. The inspector recommends having the weather strip replaced to ensure a proper seal.

**Improve:** The back door has pet damage. The affected areas should be prepped and painted to improve durability and prolong the life of the door. Further deterioration may occur if not repaired.



2.2 Item 1(Picture)



2.2 Item 2(Picture)

### 2.3 Porch/Patio/Steps

Comments: Inspected

**Safety Issue:** The risers at this stairway exceeded 7 3/4 inches in height. This condition is considered a potential trip/fall hazard. Consider replacing the steps with one in which the riser heights adhere to the generally-accepted current standards of 4 inches minimum and 7 3/4 inches maximum height.



2.3 Item 1(Picture)

### 2.4 Windows

Comments: Inspected

**Improve:** The window wells had accumulated debris; this can allow moisture intrusion into the basement. The window wells should be cleared to encourage proper drainage and minimize the retaining of moisture near the foundation and window.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)



2.4 Item 4(Picture)

**Improve:** The basement window wells do not have the proper drainage needed to help prevent the retaining of moisture near the foundation and window. It is recommended that 4"-6" inches from the window sill to the ground be provided to ensure the proper drainage.



2.4 Item 5(Picture)



2.4 Item 6(Picture)

**Improve:** The exterior basement window frames are severely rusting and will require extensive repair or replacement in order to help prevent moisture intrusion into the basement.



2.4 Item 7(Picture)



2.4 Item 8(Picture)

**Improve:** The basement bathroom window well is rusting. Repairs in the short term may extend the life of the well, however, replacement will likely be required in the future.



2.4 Item 9(Picture)

## 2.5 Driveway

Comments: Inspected

**Improve:** Significant spalling was visible on the surfaces of the concrete driveway. Spalling is surface deterioration which causes large flakes of concrete to detach from the surface. It can be caused by poor concrete mix at the time of original construction made worse by freeze damage or by salt or other chemicals used for de-icing purposes and made worse by freeze damage. It is recommended that the concrete be resurfaced by a qualified contractor to prevent additional damage.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

## 2.6 Walkway

Comments: Inspected

**Safety Issue:** Unevenness due to settling and/or heaving was observed in the concrete of the walkway and is considered a trip hazard. Cracks and/or joints should be filled with an appropriate sealant to help prevent moisture from entering and causing further settling. Replacement or lifting (jacking) the concrete may be necessary to correct unevenness in concrete. Repair by a qualified contractor is recommended.



2.6 Item 1(Picture)

## 2.7 Landscaping

Comments: Inspected

**Improve:** The bush at the front of the home should be removed to prevent damage to exterior wall covering, windows, and gutters.



2.7 Item 1(Picture)

## 2.8 Lot Drainage (Grading)

**Comments:** Inspected

**Major Concern:** The grading needs improvement. There is a negative slope at various areas around the home which can cause or contribute to water intrusion into the basement. I recommend correcting landscape to drain water away from home. This can usually be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. Ideally, at least eight (8) inches of clearance should be maintained between soil level and the top of the foundation walls.



2.8 Item 1(Picture)



2.8 Item 2(Picture)



2.8 Item 3(Picture)



2.8 Item 4(Picture)

## 2.9 Fencing

**Comments:** Inspected

## Vinson Inspection Services, Inc.

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### 3. Garage / Carport



#### Styles & Materials

**Garage Door Type:**

One automatic

**Garage Door Material:**

Metal / Insulated

**Auto-opener Manufacturer:**

LIFT-MASTER

**LIMITATIONS:**

Automobile(s) in the garage restricted the inspection.

Storage in the garage restricted the inspection.

#### Items

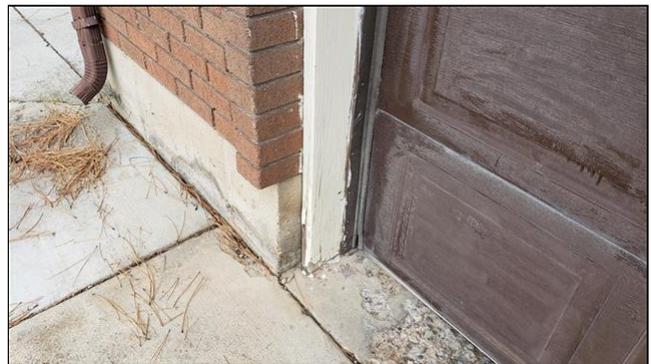
### 3.0 Garage Door (s)

Comments: Inspected

**Improve:** Wood trim around the garage door is weathered and should be prepped and painted to improve durability.



3.0 Item 1(Picture)



3.0 Item 2(Picture)

### 3.1 Occupant Doors (from garage to inside of home or side of garage)

Comments: Inspected

### 3.2 Garage Door Opener

Comments: Inspected

### 3.3 Garage Walls / Ceilings

Comments: Inspected

**Improve:** Larger than typical cracking in the garage ceiling was noted. It is recommended you consulting with a qualified contractor to assess this condition and to discuss options and costs for repairs.



3.3 Item 1(Picture)



3.3 Item 2(Picture)

**Monitor:** Water damage to the garage ceiling was observed. Although no moisture was detected at the time of the inspection, this area should be monitored.



3.3 Item 3(Picture)



3.3 Item 4(Picture)

**3.4 Garage Stairway(s)**

Comments: Inspected

**3.5 Garage window (s)**

Comments: Not Inspected

## 4. Interiors



**The inspector shall:** Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

**The inspector is not required to:** Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

### Styles & Materials

**Wall Material:**

Drywall/Plaster

**Ceiling Materials:**

Drywall/Plaster

**Floor Covering(s):**

Carpet

Tile

Hardwood

**Interior Doors:**

Hollow core

**Window Types:**

Double-Pane Insulated

**Fireplaces:**

Masonry Firebox

**LIMITATIONS:**

- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.

- Potentially hazardous substances (such as asbestos, lead paint, mold, etc.) cannot be positively identified without a detailed inspection for these types of substances and a laboratory analysis. This is beyond the scope of a home inspection.

- The adequacy of the fireplace/wood stove draw cannot be determined during a visual inspection.

### Items

#### 4.0 Wall / Ceiling Finishes

**Comments:** Inspected

**Major Concern:** Ceiling cracks were noted between the kitchen and living room and also between the hallway and living room. This may be the result of the removing a wall. Recommend asking the current owner if a wall has been removed during remodeling. If so, verify the work was done by a qualified contractor and sufficient support added in place of the wall. If a qualified contractor was not used, recommend having a contractor or structural engineer evaluate.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

#### 4.1 Floors

Comments: Inspected

#### 4.2 Doors

Comments: Inspected

**Improve:** The 1st and 2nd bedroom closet doors are missing and should be replaced as needed.



4.2 Item 1(Picture)



4.2 Item 2(Picture)

**Improve:** The master bathroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

**Improve:** The 1st basement bedroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

**Improve:** The 1st basement bedroom door does not latch closed. Repairs should be made as needed.

**Improve:** The 1st basement bedroom closet door does not latch closed. Repairs should be made as needed.



4.2 Item 3(Picture)

**Improve:** The 2nd basement bedroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

#### **4.3 Windows**

**Comments:** Inspected

**Major Concern:** The windows in the laundry/storage room and small side room are broken. The windows should be replaced to prevent injury or damage.



4.3 Item 1(Picture) Basement laundry room



4.3 Item 2(Picture) Basement side room

**Improve:** The window in the master bathroom does not open or close properly. Hardware improvements should be made to ensure proper function.



4.3 Item 3(Picture)

**4.4 Kitchen / Bathroom Counters**

Comments: Inspected

**4.5 Kitchen / Bathroom Cabinets**

Comments: Inspected

**4.6 Stairways**

Comments: Inspected

**4.7 Fireplaces**

Comments: Visually Inspected Not Tested

**4.8 Basement Leakage**

Comments: Inspected

**Monitor:** Evidence of moisture intrusion into the basement was observed. It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one time visit to a home. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of basement leakage.



4.8 Item 1(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



## 5. Electrical System

**The inspector shall inspect:** The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

**The inspector is not required to:** Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting.

### Styles & Materials

**Electrical Service Conductors:**

Below ground

**Panel Capacity:**

100 AMP

**Panel Type:**

Circuit breakers

**Branch wire 15 and 20 AMP:**

Copper

**Wiring Methods:**

Romex

**LIMITATIONS:**

- Smoke and carbon monoxide detectors are not tested and the inspector only verifies the presence of these devices. All smoke and carbon monoxide detectors should be tested when moving into the home.

### Items

#### 5.0 Service / Entrance Panel and Conductors

Comments: Inspected

**Improve:** The service box shows evidence of rusting, suggesting the presence of moisture. An electrician should be consulted to replace the service panel.



5.0 Item 1(Picture)

**Improve:** The wall anchor securing the exterior panel is loose/damaged and should be replaced by a qualified electrical contractor.



5.0 Item 2(Picture)

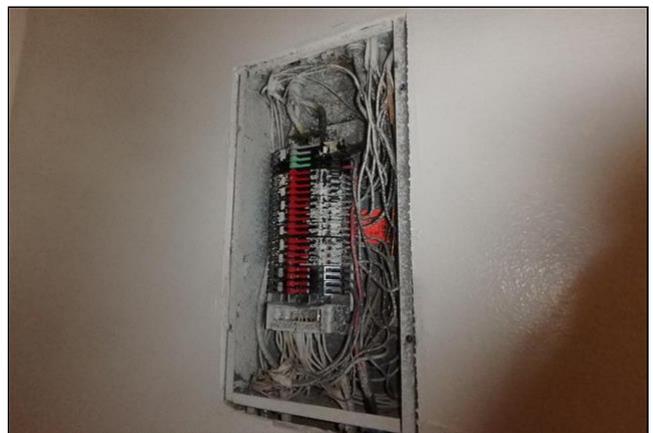
### 5.1 Main Panel(s)

**Comments:** Inspected

**Monitor:** The main electrical service panel was made by Sylvania. Sylvania service panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock/electrocution. The inspector recommends that you consult with a qualified electrical contractor concerning the necessity for replacing this service panel.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

**Improve:** The main electrical service has not been properly grounded to the main water supply pipe. Consider consulting with a qualified electrical contractor to ensure that the electrical service is adequately grounded.



5.1 Item 3(Picture)

**Improve:** The dead front cover of the main electrical panel was missing screws at the time of the inspection. The inspector recommends that appropriate screws be installed to securely attach the dead front cover.



5.1 Item 4(Picture)

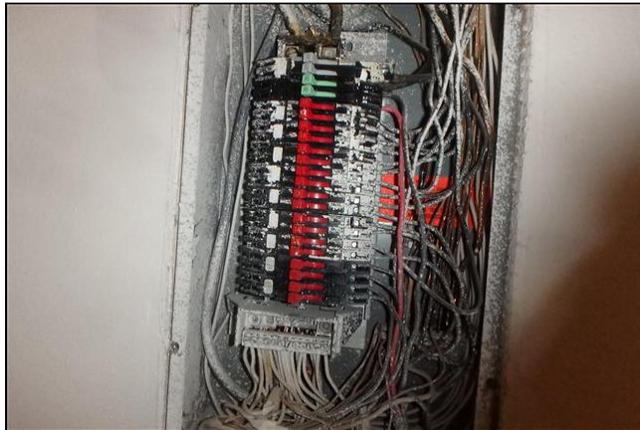
**Safety Issue:** A gap in the dead front cover of the main panel where a circuit breaker is missing may allow a person to come into contact with energized electrical components. This potential shock/electrocution hazard should be corrected by a qualified electrical contractor.



5.1 Item 5(Picture)

**Improve:** The labels identifying individual branch circuits appeared to be old and outdated. The inspector recommends that individual branch circuits be accurately identified and clearly labeled so that an individual branch circuit can be shut down quickly in an emergency.

**Improve:** The interior of the main electrical service panel was contaminated by paint. This condition appeared to be the result of overspray during wall painting. This condition may affect the ability of electrical components within the service panel to function as they were designed. The inspector recommends that an evaluation and any necessary corrections be made by a qualified electrical contractor.



5.1 Item 6(Picture)

## 5.2 Distribution Wiring

Comments: Inspected

**Improve:** A junction box in the storage room is missing a cover plate. An approved cover plate should be installed to protect the wiring.



5.2 Item 1(Picture)



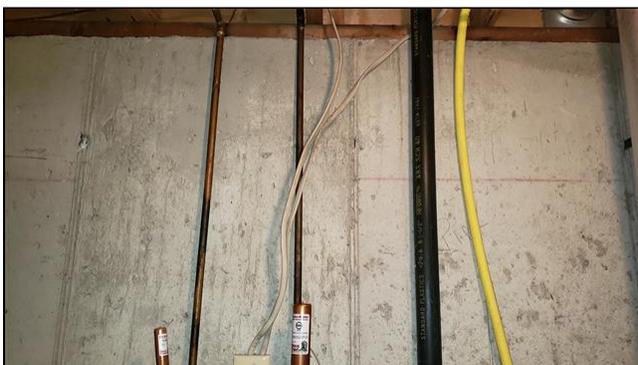
5.2 Item 2(Picture)

**Improve:** Abandoned wire(s) located storage room should be removed or appropriately terminated in an approved junction box with a proper cover installed.



5.2 Item 3(Picture)

**Improve:** Wiring in the laundry/storage room exposed to damage should be installed in conduit.



5.2 Item 4(Picture)

### 5.3 Outlets

Comments: Inspected

**Improve:** Multiple outlets throughout the home are not grounded. Ungrounded 3-prong outlets should be improved. Alternatively, a grounded cable could be strung to these outlets, or a separate ground wire could be connected.

**Safety Issue:** The bathroom outlets are not GFCI protected.

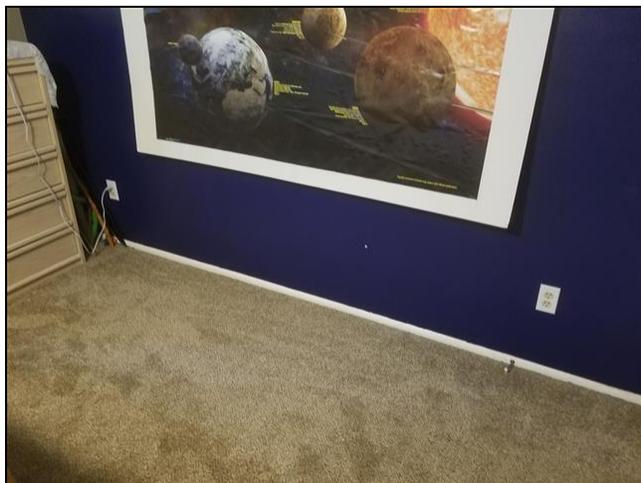
**Improve:** An outlet in the kitchen has been wired incorrectly (the hot and neutral wires are reversed). A qualified electrical contractor should evaluate and make necessary repairs.



5.3 Item 1(Picture)

**Safety Issue:** The kitchen outlets are not GFCI protected.

**Improve:** Multiple outlets in the 2nd and 3rd basement bedrooms have been wired incorrectly (the hot and neutral wires are reversed). A qualified electrical contractor should evaluate and make necessary repairs.



5.3 Item 2(Picture)



5.3 Item 3(Picture)

**Safety Issue:** The outlet at the front of the home is missing a weatherproof cover. A proper exterior cover should be installed.



5.3 Item 4(Picture)

#### 5.4 Switches

**Comments:** Inspected

**FYI:** Inspector was unable to determine the function of one or more switches.



5.4 Item 1(Picture)

#### 5.5 Lights/Fans

**Comments:** Inspected

**Improve:** The ceiling fan in the 1st bedroom wobbled during operation and appeared to be out of balance. This condition may eventually cause the fan to come loose from its mounting device and fall. The inspector recommends correction by a qualified person.

**FYI:** The inspector was unable to find the switch for the master closet light.

#### 5.6 Smoke Detectors

**Comments:** Inspected

**Safety Issue:** No smoke detectors are installed in the home. Installing smoke detectors in all bedrooms and hallways is recommended to bring the home into compliance with modern building safety standards. Generally-accepted current standards require smoke detectors in the following locations:

- In the immediate vicinity of the bedrooms
- In all bedrooms
- On each story of a dwelling unit, including basements and cellars, but not including crawl spaces and uninhabitable attics.

## **5.7 Carbon Monoxide Detectors**

**Comments:** Inspected

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Plumbing System



**The inspector shall:** Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

**The inspector is not required to:** Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.

### Styles & Materials

**Water Supply Source:**

Public Water Supply

**Main Valve Location:**

Front Wall of Basement

**Service Pipe to House:**

Copper

**Supply Piping (inside home):**

Copper

**PSI =:**

80

**Plumbing Waste Pipe:**

ABS

Cast iron

**Main Gas Valve Location:**

At Meter

**Gas Piping:**

Black Steel

**WH Manufacturer:**

A.O. SMITH

**Water Heater Power Source:**

Gas

**Water Heater Capacity:**

40 Gallon

**Water Heater Location:**

Basement Utility Room

**LIMITATIONS:**

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected.
- The inspection of the water conditioning system is outside the scope of this inspection.
- Water quality is not tested. The effect of lead content in solder and or supply lines is beyond the scope of the inspection.

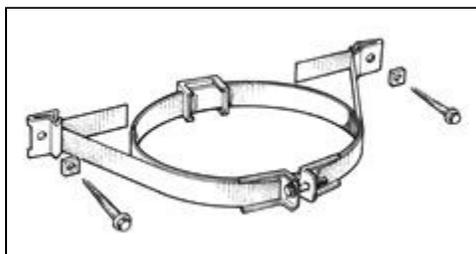
### Items

#### 6.0 Water Heater

Comments: Inspected

•Manufacturer Date:2016 •Approximate Age (in years):4 •Model #GCR40400 •Serial #1614J013272

**Improve:** The water heater(s) should be properly anchored or strapped to resist movement during earthquake conditions. Seismic Straps are metal belts that strap the water heater to a wall. The seismic strapping holds the water heater upright in the event of an earthquake. The straps are not intended to protect the plumbing or avoid flooding. Instead they are specifically required to protect the gas lines. The proper way to install the straps is to use two straps. A general rule is to install the straps 9 inches from the top of the tank, and 4 inches above the controls at the bottom of the tank. The straps should be secured to a stud in the wall with a 3-inch lag bolt. Do not use plastic anchors in the drywall. The straps should be looped around the tank. And finally, if the water heater stands more than three inches away from a wall at the back, a supporting brace or block should be used.



6.0 Item 1(Picture) Seismic Strapping

**Improve:** The water heater had no expansion tank installed to allow for thermal expansion of water in the plumbing pipes. Expansion tanks are required for new installations. Consider consulting with a qualified plumbing contractor about the need for the installation of an expansion tank on this system.

### 6.1 Water Heater Venting

Comments: Inspected

**Improve:** The gas-fired water heater has a three-inch diameter exhaust flue. Newer standards require a 4-inch flue. It may be required to upsize the flue when the water heater is replaced.



6.1 Item 1(Picture)

### 6.2 Main Water Shut-off

Comments: Inspected

### 6.3 Fixtures

Comments: Inspected

**Improve:** The main floor hallway bathroom toilet is loose and should be properly secured. Also, caulking should be applied around the base after the toilet has been secured. Both can help prevent leakage into the floor system.



6.3 Item 1(Picture)

**Improve:** A leak was detected in the drain line under the main floor hallway bathroom right sink. Repairs should be made by a qualified plumber.



6.3 Item 2(Picture)

**Improve:** The master bathroom toilet is loose and should be properly secured. Also, caulking should be applied around the base after the toilet has been secured. Both can help prevent leakage into the floor system.



6.3 Item 3(Picture)

**Improve:** When one side of the kitchen sink is drained water backs up out of the opposite side. This may be due to inadequate venting of the plumbing line. A qualified plumber should evaluate and make necessary repairs.

**Improve:** A leak was detected in the drain line under the basement bathroom left sink. Repairs should be made by a qualified plumber.



6.3 Item 4(Picture)

**Safety Issue:** The basement bathroom shower hot/cold water supplies are reversed. This condition represents a potential scald hazard and should be corrected by a qualified plumber.

**Improve:** The hose bib at the back of the home leaked when operated and should be repaired to avoid wasting water and to prevent moisture from accumulating next to the foundation. Even leaks which appear inconsequential can add significant quantities of moisture to the soil over time.

#### 6.4 Supply Plumbing

Comments: Inspected

**Improve:** The supply pipes in the storage room lack adequate support. Recommend repair as needed by a qualified plumbing contractor.



6.4 Item 1(Picture)



6.4 Item 2(Picture)



6.4 Item 3(Picture)

**Improve:** Saddle valves have been installed on the the supply pipe located in the basement utility room. This type of valve also known as a piercing saddle valve, saddle tap or needle valve, consists of a clamp that punctures a hole in an existing water intake pipe. It is a shortcut used instead of installing a permanent and secure connection. Because saddle valves are not permanently attached, they are prone to leaks and can potentially cause extensive property damage when they ultimately leak. Recommend having a plumber remove the valve and repair the line and have a proper fitting installed for.



6.4 Item 4(Picture)

## 6.5 Waste / Vent

Comments: Inspected

**Improve:** The flex piping under the master bathroom sink is an improper material to use for the drain line. This is generally considered to be a temporary fix. Flex piping clogs easier and is less durable. The proper pipe fittings should be used to bring the drain line up to current building standards. Work should be performed by a qualified plumber.



6.5 Item 1(Picture)

## 6.6 Gas Piping

Comments: Inspected

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 7. Heating & Central Air Conditioning



**The inspector shall inspect:** The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls. The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

**The inspector is not required to:** Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage. Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection. Perform a Phase 1 fireplace and chimney inspection.

### Styles & Materials

<b>Heating System Type:</b> Forced Air	<b>Heating Energy Source:</b> Gas	<b>Number of Heat Systems (excluding wood):</b> One
<b>Heat System Brand:</b> BRYANT	<b>Cooling System Type:</b> Air conditioner unit	<b>Cooling Equipment Energy Source:</b> Electricity
<b>Number of AC Units:</b> One	<b>Cooling System Brand:</b> BRYANT	<b>Ductwork:</b> Non-insulated
<b>Filter Type:</b> Disposable	<b>Types of Fireplaces:</b> Wood	<b>LIMITATIONS:</b> <ul style="list-style-type: none"> <li>• The air-conditioning unit was visually inspected but not tested due to the outside temperature being below 62 degrees, as doing so can damage the compressor.</li> <li>• The heat exchanger was inaccessible and is not part of this inspection.</li> <li>• The humidifier was not inspected.</li> </ul>

### Items

#### 7.0 Furnace

**Comments:** Inspected

•Manufacturer Date:2012 •Approximate Age (in years):8 •Model #311AAV048110 •Serial #2112A20481

**Improve:** The heating system requires servicing. There is no evidence of recent servicing of the equipment. It would be advisable to inquire with the existing homeowner as to its last servicing. If it has been longer than twelve (12) months than it is wise to engage a qualified HVAC technician to service and check the system. Also, no green sticker was found on the unit. A Green Sticker is an adhesive sticker placed on your natural gas appliances (furnace and water-heater) by a licensed and certified heating contractor. The Green Sticker verifies natural gas appliances have been de-rated (adjusted) to properly burn natural gas at your altitude.

**Improve:** The furnace air filter was dirty and should be changed. Filters should be checked every month and replaced as necessary. Failure to change the filter when needed may result in the following problems:

1. Reduced blower life due to dirt build-up on vanes, which increases operating costs.
2. Reduced indoor air quality.
3. Increased resistance resulting in the filter being sucked into the blower. This condition can be a potential fire hazard.
4. Frost build-up on air-conditioner evaporator coils, resulting in reduced cooling efficiency and possible damage.

**Improve:** The furnace air filter was the wrong size and/or type. This condition can allow particulates to pass beyond the filter and into indoor air or may result in the filter being sucked into the blower, causing damage to the blower and creating a potential fire hazard.



7.0 Item 1(Picture)

### **7.1 Automatic Safety Controls**

**Comments:** Inspected

### **7.2 Supply Air Ductwork**

**Comments:** Inspected

### **7.3 Return Air Ductwork**

**Comments:** Inspected

**7.4 Presence of Installed Heat/Cool Source in Each Room**

Comments: Inspected

**7.5 Thermostat**

Comments: Inspected

**7.6 Air Conditioner**

Comments: Visually Inspected Not Tested

•Manufacturer Date:2011 •Approximate Age (in years):9 •Model #113ANA036-E •Serial #1311E22240

**Improve:** The pad supporting the air-conditioner compressor housing should be raised to 3 inches above grade. This can protect the unit from damage.



7.6 Item 1(Picture)



7.6 Item 2(Picture)

**Improve:** Insulation on the air-conditioning suction (large, insulated) line was damaged or missing and should be replaced.

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



## 8. Structural Components

**The inspector shall inspect:** The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

**The inspector is not required to:** Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

### Styles & Materials

**Foundation:**

Poured Concrete

**Floor Structure:**

Wood Joist

**Wall Structure:**

Wood Frame, Brick Veneer

**Roof Structure:**

Not visible

**Roof-Type:**

Gable

**Method used to observe attic:**

No Access

**LIMITATIONS:**

- The entire roof structure is not inspected.
- Structural components concealed behind finished surfaces could not be inspected.
- There was restricted access to the attic hatch.

### Items

#### 8.0 Foundation

**Comments:** Inspected

**Monitor:** Common minor cracks were observed in the foundation walls of the home. This implies that some structural movement of the building has occurred, as is typical of most houses.

**Improve:** A parge coat that covers the foundation exterior surface is missing. A parge coat is layers of cement material applied with a trowel over the foundation exterior surface and designed to harden. This cover helps to protect the exterior surface of the foundation wall, by forming a water resistant, protective barrier that helps prevent water penetration into the building materials that can cause moisture damage or spalling deterioration.

**Improve:** Minor deterioration was noted in the exterior foundation. It is recommended patching with an appropriate material to help prevent continued deterioration.



8.0 Item 1(Picture)



8.0 Item 2(Picture)

**Monitor:** One or more exterior corners of the concrete foundation wall was cracked or broken. Exterior corners are high-stress areas and this condition is not unusual in some homes. The foundation appeared to be adequately supporting the exterior wall structure in this area at the time of the inspection.



8.0 Item 3(Picture)



8.0 Item 4(Picture)

### **8.1 Walls Structural**

**Comments:** Inspected

### **8.2 Floors Structural**

**Comments:** Inspected

### **8.3 Roof Structure and Attic**

**Comments:** Inspected

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The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Insulation and Ventilation



The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

### Styles & Materials

**Attic Insulation:**

Unknown

**Roof Ventilation:**

Gable vents  
Ridge vents  
Turbines

**Exterior Wall Insulation:**

Unknown

**Floor System Insulation:**

Fiberglass Batt

**Basement Insulation:**

Unknown

**Exhaust Fans:**

None

**LIMITATIONS:**

•The occupant's belongings blocked access to the attic entry hatch at the time of the inspection.

### Items

**9.0 Attic / Roof**

**Comments:** Inspected

**9.1 Floors**

**Comments:** Inspected

**9.2 Walls**

**Comments:** Inspected

**9.3 Basement**

**Comments:** Inspected

**9.4 Venting Systems (Kitchens, Baths, Laundry and other)**

**Comments:** Not Present

**Improve:** Although the main floor bathrooms have windows, no exhaust fans are installed to exhaust moist air. This condition is likely to result in excessively high humidity levels in these bathrooms during the winter when low outside temperatures make ventilation with an open window uncomfortable. Elevated moisture levels may cause a number of problems, such as deterioration of materials and shower wall tile detachment. High humidity can also encourage the growth of microbes such as mold fungi. Excessive growth of mold fungi can produce high concentrations of mold spores in indoor air which can cause serious health problems in some people. Consider installation of exhaust fans in these bathrooms to prevent problems from excessively high humidity.

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



# 10. Appliances

## Styles & Materials

### Kitchen Appliances:

- Gas Range
- Built in Microwave
- Dishwasher
- Waste Disposer
- Refrigerator

### Laundry Facility:

- Gas Piping for Dryer
- Dryer Vented to Building Exterior
- 120 Volt Circuit for Washer
- Hot and Cold Water Supply for Washer
- Waste Standpipe for Washer

### LIMITATIONS:

- The effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.
- Icemakers and water dispensers are not tested and beyond the scope of this inspection.

## Items

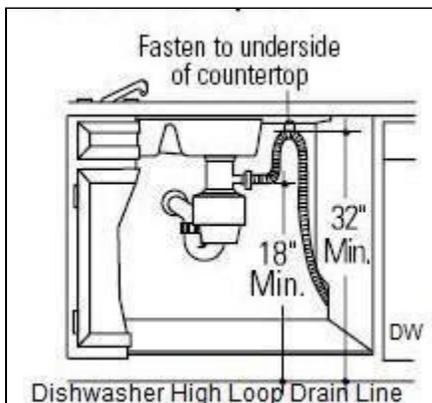
### 10.0 Gas Range

Comments: Inspected

### 10.1 Dishwasher

Comments: Inspected

**Improve:** A high loop was not present for the dishwasher drain line. For proper operation, the dishwasher waste line should loop above the connection point below the kitchen sink. The high loop is designed to prevent wastewater from contaminating the dishwasher.



10.1 Item 1(Picture) High-loop

### 10.2 Waste Disposer

Comments: Inspected

**Improve:** The splash guard for the waste disposer is damaged. A new splash guard should be installed to prevent injury from items ejected during disposal operation.



10.2 Item 1(Picture)

### **10.3 Microwave**

**Comments:** Inspected

**Improve:** The microwave is not functioning correctly and will need to be repaired or replaced. (Sparks were noted when in use.)

### **10.4 Refrigerator**

**Comments:** Inspected

### **10.5 Door Bell**

**Comments:** Inspected

---

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Summary



Vinson Inspection Services, Inc.

West Jordan, Utah 84088  
801-897-7485

### Customer

Inspection Report For  
Happy Home Owner

### Address

123 N. 456 W.  
Pleasant Ville Utah 84000

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## 1. Roofing



### 1.0 Roof Coverings

#### Inspected

**Major Concern:** The asphalt composition shingles covering the roof of this home had severe deterioration visible throughout the roof and are at the end of their long-term service life. You should consult with a qualified roofing contractor before the expiration of your Inspection Due Diligence Deadline to discuss options and costs for replacement.

**FYI:** The roof had two existing layers of composition asphalt shingles installed at the time of the inspection. Two is the maximum allowed. This condition will result in the following:

- Reduced asphalt shingle lifespan compared to similar shingles installed over a proper substrate.
- When new roofing is required, all two layers will need to be removed before new roofing material can be installed. This is much more expensive than simply adding another layer and you may wish to take this into account in your consideration of this property.

1.1 Flashings

Inspected

**Major Concern:** The flashing around chimney was installed incorrectly and is reliant upon a sealant to help prevent moisture intrusion. Evidence of leakage into the garage was noted at the time of the inspection. The inspector recommends replacement of the flashing by a qualified roofing contractor.

**Improve:** The flashing around all roof penetrations has been installed incorrectly and should be replaced. New vent flashing should be installed to help prevent moisture from entering into the roof system. The inspector recommends correction by a qualified roofing contractor.

1.2 Gutters & Downspouts

Inspected

**Improve:** It is recommended that the downspout(s) discharge water at least five (5) feet from the house. Installing downspout extensions should direct the flow of storm water away from the foundation. It is recommended that downspout extensions be installed at all downspouts to enhance surface water control and reduce water at the foundation.

**Improve:** One or more downspouts on the exterior of the home are damaged and should be repaired or replaced to prevent possible failure and to allow for proper drainage away from the foundation.

**Improve:** The gutters show signs of leakage and should be sealed with an appropriate material and be brought into good working order to protect the home foundation from excessive moisture.

**Improve:** Damage to the gutter(s) at the front of the home was noted and should be replaced to prevent possible failure of drainage system.

1.3 Chimneys/Flue

Inspected

**Improve:** A rain cap and vermin screen should be installed on the masonry chimney.

---

2. Exterior



2.0 Exterior Walls

Inspected

**Improve:** The lentils are rusting. Lentils are metal beams that support the brickwork above openings in a wall (window/doors). The inspector recommends sanding and apply a rust preventative paint to help preserve the remaining life.

**Improve:** The areas around exterior light fixtures have not been sealed. Recommend caulking around fixtures with appropriate sealant to help prevent moisture intrusion in the wall assembly.

2.2 Doors (Exterior)

Inspected

**Improve:** The weatherstripping around the perimeter of the back door does not provide an adequate seal, and may reduce the energy efficiency of the home. The inspector recommends having the weather strip replaced to ensure a proper seal.

**Improve:** The back door has pet damage. The affected areas should be prepped and painted to improve durability and prolong the life of the door. Further deterioration may occur if not repaired.

2.3 Porch/Patio/Steps

Inspected

**Safety Issue:** The risers at this stairway exceeded 7 3/4 inches in height. This condition is considered a potential trip/fall hazard. Consider replacing the steps with one in which the riser heights adhere to the generally-accepted current standards of 4 inches minimum and 7 3/4 inches maximum height.

2.4 Windows

Inspected

**Improve:** The window wells had accumulated debris; this can allow moisture intrusion into the basement. The window wells should be cleared to encourage proper drainage and minimize the retaining of moisture near the foundation and window.

**Improve:** The basement window wells do not have the proper drainage needed to help prevent the retaining of moisture near the foundation and window. It is recommended that 4"-6" inches from the window sill to the ground be provided to ensure the proper drainage.

**Improve:** The exterior basement window frames are severely rusting and will require extensive repair or replacement in order to help prevent moisture intrusion into the basement.

**Improve:** The basement bathroom window well is rusting. Repairs in the short term may extend the life of the well, however, replacement will likely be required in the future.

## **2.5 Driveway**

### **Inspected**

**Improve:** Significant spalling was visible on the surfaces of the concrete driveway. Spalling is surface deterioration which causes large flakes of concrete to detach from the surface. It can be caused by poor concrete mix at the time of original construction made worse by freeze damage or by salt or other chemicals used for de-icing purposes and made worse by freeze damage. It is recommended that the concrete be resurfaced by a qualified contractor to prevent additional damage.

## **2.6 Walkway**

### **Inspected**

**Safety Issue:** Unevenness due to settling and/or heaving was observed in the concrete of the walkway and is considered a trip hazard. Cracks and/or joints should be filled with an appropriate sealant to help prevent moisture from entering and causing further settling. Replacement or lifting (jacking) the concrete may be necessary to correct unevenness in concrete. Repair by a qualified contractor is recommended.

## **2.7 Landscaping**

### **Inspected**

**Improve:** The bush at the front of the home should be removed to prevent damage to exterior wall covering, windows, and gutters.

## **2.8 Lot Drainage (Grading)**

### **Inspected**

**Major Concern:** The grading needs improvement. There is a negative slope at various areas around the home which can cause or contribute to water intrusion into the basement. I recommend correcting landscape to drain water away from home. This can usually be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. Ideally, at least eight (8) inches of clearance should be maintained between soil level and the top of the foundation walls.

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## **3. Garage / Carport**



### **3.0 Garage Door (s)**

#### **Inspected**

**Improve:** Wood trim around the garage door is weathered and should be prepped and painted to improve durability.

### **3.3 Garage Walls / Ceilings**

#### **Inspected**

**Improve:** Larger than typical cracking in the garage ceiling was noted. It is recommended you consulting with a qualified contractor to assess this condition and to discuss options and costs for repairs.

## 4. Interiors



### 4.0 Wall / Ceiling Finishes

#### Inspected

**Major Concern:** Ceiling cracks were noted between the kitchen and living room and also between the hallway and living room. This may be the result of the removing a wall. Recommend asking the current owner if a wall has been removed during remodeling. If so, verify the work was done by a qualified contractor and sufficient support added in place of the wall. If a qualified contractor was not used, recommend having a contractor or structural engineer evaluate.

### 4.2 Doors

#### Inspected

**Improve:** The 1st and 2nd bedroom closet doors are missing and should be replaced as needed.

**Improve:** The master bathroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

**Improve:** The 1st basement bedroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

**Improve:** The 1st basement bedroom door does not latch closed. Repairs should be made as needed.

**Improve:** The 1st basement bedroom closet door does not latch closed. Repairs should be made as needed.

**Improve:** The 2nd basement bedroom door was binding and was difficult to open and close. The door should be trimmed or adjusted as necessary to work properly.

### 4.3 Windows

#### Inspected

**Major Concern:** The windows in the laundry/storage room and small side room are broken. The windows should be replaced to prevent injury or damage.

**Improve:** The window in the master bathroom does not open or close properly. Hardware improvements should be made to ensure proper function.

### 4.8 Basement Leakage

#### Inspected

**Monitor:** Evidence of moisture intrusion into the basement was observed. It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one time visit to a home. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of basement leakage.

## 5. Electrical System



### 5.0 Service / Entrance Panel and Conductors

#### Inspected

**Improve:** The service box shows evidence of rusting, suggesting the presence of moisture. An electrician should be consulted to replace the service panel.

**Improve:** The wall anchor securing the exterior panel is loose/damaged and should be replaced by a qualified electrical contractor.

### 5.1 Main Panel(s)

#### Inspected

**Monitor:** The main electrical service panel was made by Sylvania. Sylvania service panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock/electrocution. The inspector recommends that you consult with a qualified electrical contractor concerning the necessity for replacing this service panel.

**Improve:** The main electrical service has not been properly grounded to the main water supply pipe. Consider consulting with a qualified electrical contractor to ensure that the electrical service is adequately grounded.

**Improve:** The dead front cover of the main electrical panel was missing screws at the time of the inspection. The inspector recommends that appropriate screws be installed to securely attach the dead front cover.

**Safety Issue:** A gap in the dead front cover of the main panel where a circuit breaker is missing may allow a person to come into contact with energized electrical components. This potential shock/electrocution hazard should be corrected by a qualified electrical contractor.

**Improve:** The labels identifying individual branch circuits appeared to be old and outdated. The inspector recommends that individual branch circuits be accurately identified and clearly labeled so that an individual branch circuit can be shut down quickly in an emergency.

**Improve:** The interior of the main electrical service panel was contaminated by paint. This condition appeared to be the result of overspray during wall painting. This condition may affect the ability of electrical components within the service panel to function as they were designed. The inspector recommends that an evaluation and any necessary corrections be made by a qualified electrical contractor.

## **5.2 Distribution Wiring**

### **Inspected**

**Improve:** A junction box in the storage room is missing a cover plate. An approved cover plate should be installed to protect the wiring.

**Improve:** Abandoned wire(s) located storage room should be removed or appropriately terminated in an approved junction box with a proper cover installed.

**Improve:** Wiring in the laundry/storage room exposed to damage should be installed in conduit.

## **5.3 Outlets**

### **Inspected**

**Improve:** Multiple outlets throughout the home are not grounded. Ungrounded 3-prong outlets should be improved. Alternatively, a grounded cable could be strung to these outlets, or a separate ground wire could be connected.

**Safety Issue:** The bathroom outlets are not GFCI protected.

**Improve:** An outlet in the kitchen has been wired incorrectly (the hot and neutral wires are reversed). A qualified electrical contractor should evaluate and make necessary repairs.

**Safety Issue:** The kitchen outlets are not GFCI protected.

**Improve:** Multiple outlets in the 2nd and 3rd basement bedrooms have been wired incorrectly (the hot and neutral wires are reversed). A qualified electrical contractor should evaluate and make necessary repairs.

**Safety Issue:** The outlet at the front of the home is missing a weatherproof cover. A proper exterior cover should be installed.

## **5.5 Lights/Fans**

### **Inspected**

**Improve:** The ceiling fan in the 1st bedroom wobbled during operation and appeared to be out of balance. This condition may eventually cause the fan to come loose from its mounting device and fall. The inspector recommends correction by a qualified person.

FYI: The inspector was unable to find the switch for the master closet light.

## **5.6 Smoke Detectors**

### **Inspected**

**Safety Issue:** No smoke detectors are installed in the home. Installing smoke detectors in all bedrooms and hallways is recommended to bring the home into compliance with modern building safety standards. Generally-accepted current standards require smoke detectors in the following locations:

- In the immediate vicinity of the bedrooms
- In all bedrooms
- On each story of a dwelling unit, including basements and cellars, but not including crawl spaces and uninhabitable attics.



## 6. Plumbing System

### 6.0 Water Heater

#### Inspected

**Improve:** The water heater(s) should be properly anchored or strapped to resist movement during earthquake conditions. Seismic Straps are metal belts that strap the water heater to a wall. The seismic strapping holds the water heater upright in the event of an earthquake. The straps are not intended to protect the plumbing or avoid flooding. Instead they are specifically required to protect the gas lines. The proper way to install the straps is to use two straps. A general rule is to install the straps 9 inches from the top of the tank, and 4 inches above the controls at the bottom of the tank. The straps should be secured to a stud in the wall with a 3-inch lag bolt. Do not use plastic anchors in the drywall. The straps should be looped around the tank. And finally, if the water heater stands more than three inches away from a wall at the back, a supporting brace or block should be used.

**Improve:** The water heater had no expansion tank installed to allow for thermal expansion of water in the plumbing pipes. Expansion tanks are required for new installations. Consider consulting with a qualified plumbing contractor about the need for the installation of an expansion tank on this system.

### 6.1 Water Heater Venting

#### Inspected

**Improve:** The gas-fired water heater has a three-inch diameter exhaust flue. Newer standards require a 4-inch flue. It may be required to upsize the flue when the water heater is replaced.

### 6.3 Fixtures

#### Inspected

**Improve:** The main floor hallway bathroom toilet is loose and should be properly secured. Also, caulking should be applied around the base after the toilet has been secured. Both can help prevent leakage into the floor system.

**Improve:** A leak was detected in the drain line under the main floor hallway bathroom right sink. Repairs should be made by a qualified plumber.

**Improve:** The master bathroom toilet is loose and should be properly secured. Also, caulking should be applied around the base after the toilet has been secured. Both can help prevent leakage into the floor system.

**Improve:** When one side of the kitchen sink is drained water backs up out of the opposite side. This may be due to inadequate venting of the plumbing line. A qualified plumber should evaluate and make necessary repairs.

**Improve:** A leak was detected in the drain line under the basement bathroom left sink. Repairs should be made by a qualified plumber.

**Safety Issue:** The basement bathroom shower hot/cold water supplies are reversed. This condition represents a potential scald hazard and should be corrected by a qualified plumber.

**Improve:** The hose bib at the back of the home leaked when operated and should be repaired to avoid wasting water and to prevent moisture from accumulating next to the foundation. Even leaks which appear inconsequential can add significant quantities of moisture to the soil over time.

### 6.4 Supply Plumbing

#### Inspected

**Improve:** The supply pipes in the storage room lack adequate support. Recommend repair as needed by a qualified plumbing contractor.

**Improve:** Saddle valves have been installed on the the supply pipe located in the basement utility room. This type of valve also known as a piercing saddle valve, saddle tap or needle valve, consists of a clamp that punctures a hole in an existing water intake pipe. It is a shortcut used instead of installing a permanent and secure connection. Because saddle valves are not permanently attached, they are prone to leaks and can potentially cause extensive property damage when they ultimately leak. Recommend having a plumber remove the valve and repair the line and have a proper fitting installed for.

### 6.5 Waste / Vent

#### Inspected

**Improve:** The flex piping under the master bathroom sink is an improper material to use for the drain line. This is generally considered to be a temporary fix. Flex piping clogs easier and is less durable. The proper pipe fittings should be used to bring the drain line up to current building standards. Work should be performed by a qualified plumber.

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## 7. Heating & Central Air Conditioning

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### 7.0 Furnace

#### Inspected

**Improve:** The heating system requires servicing. There is no evidence of recent servicing of the equipment. It would be advisable to inquire with the existing homeowner as to its last servicing. If it has been longer than twelve (12) months than it is wise to engage a qualified HVAC technician to service and check the system. Also, no green sticker was found on the unit. A Green Sticker is an adhesive sticker placed on your natural gas appliances (furnace and water-heater) by a licensed and certified heating contractor. The Green Sticker verifies natural gas appliances have been de-rated (adjusted) to properly burn natural gas at your altitude.

**Improve:** The furnace air filter was dirty and should be changed. Filters should be checked every month and replaced as necessary. Failure to change the filter when needed may result in the following problems:

1. Reduced blower life due to dirt build-up on vanes, which increases operating costs.
2. Reduced indoor air quality.
3. Increased resistance resulting in the filter being sucked into the blower. This condition can be a potential fire hazard.
4. Frost build-up on air-conditioner evaporator coils, resulting in reduced cooling efficiency and possible damage.

**Improve:** The furnace air filter was the wrong size and/or type. This condition can allow particulates to pass beyond the filter and into indoor air or may result in the filter being sucked into the blower, causing damage to the blower and creating a potential fire hazard.

### 7.6 Air Conditioner

#### Visually Inspected Not Tested

**Improve:** The pad supporting the air-conditioner compressor housing should be raised to 3 inches above grade. This can protect the unit from damage.

**Improve:** Insulation on the air-conditioning suction (large, insulated) line was damaged or missing and should be replaced.

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## 8. Structural Components

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### 8.0 Foundation

#### Inspected

**Improve:** A parge coat that covers the foundation exterior surface is missing. A parge coat is layers of cement material applied with a trowel over the foundation exterior surface and designed to harden. This cover helps to protect the exterior surface of the foundation wall, by forming a water resistant, protective barrier that helps prevent water penetration into the building materials that can cause moisture damage or spalling deterioration.

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## 9. Insulation and Ventilation

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### 9.4 Venting Systems (Kitchens, Baths, Laundry and other)

**Not Present**

**Improve:** Although the main floor bathrooms have windows, no exhaust fans are installed to exhaust moist air. This condition is likely to result in excessively high humidity levels in these bathrooms during the winter when low outside temperatures make ventilation with an open window uncomfortable. Elevated moisture levels may cause a number of problems, such as deterioration of materials and shower wall tile detachment. High humidity can also encourage the growth of microbes such as mold fungi. Excessive growth of mold fungi can produce high concentrations of mold spores in indoor air which can cause serious health problems in some people. Consider installation of exhaust fans in these bathrooms to prevent problems from excessively high humidity.

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## 10. Appliances



### 10.1 Dishwasher

**Inspected**

**Improve:** A high loop was not present for the dishwasher drain line. For proper operation, the dishwasher waste line should loop above the connection point below the kitchen sink. The high loop is designed to prevent wastewater from contaminating the dishwasher.

### 10.3 Microwave

**Inspected**

**Improve:** The microwave is not functioning correctly and will need to be repaired or replaced. (Sparks were noted when in use.)

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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